

EXHIBIT A

FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077  
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

**SECTION A - PROPERTY OWNER INFORMATION**

BUILDING OWNER'S NAME: THOMAS LYNCH (INLAND BUILDERS)

BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.: 421 CEDAR STREET

CITY: HAILEY STATE: IDAHO ZIP CODE: 83333

PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.): LOT 8, BLOCK 1 "CEDAR BEND SUBDIVISION"

BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.):

LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ###.####"): \_\_\_\_\_ HORIZONTAL DATUM:  NAD 1927  NAD 1983 SOURCE:  GPS (Type): \_\_\_\_\_  USGS Quad Map  Other \_\_\_\_\_

Rm - 8 - 664

**SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER: \_\_\_\_\_ B2. COUNTY NAME: BLAINE B3. STATE: IDAHO

B4. MAP AND PANEL NUMBER: <u>160022</u>	B5. SUFFIX: <u>066AD</u>	B6. FIRM INDEX DATE: _____	B7. FIRM PANEL EFFECTIVE/REVISED DATE: <u>MARCH 17, 1997</u>	B8. FLOOD ZONE(S): <u>AE</u>	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding): <u>5288.60</u>
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B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe): \_\_\_\_\_

B11. Indicate the elevation datum used for the BFE in B9:  NGVD 1929  NAVD 1988  Other (Describe): \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date: \_\_\_\_\_

**SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO  
Complete Items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.  
Datum \_\_\_\_\_ Conversion/Comments \_\_\_\_\_

Elevation reference mark used \_\_\_\_\_ Does the elevation reference mark used appear on the FIRM?  Yes  No

a) Top of bottom floor (including basement or enclosure) 5290 . 10 ft.(m)

b) Top of next higher floor 5290 . 10 ft.(m)

c) Bottom of lowest horizontal structural member (V zones only) \_\_\_\_\_ . \_\_\_\_\_ ft.(m)

d) Attached garage (top of slab) 5289 . 76 ft.(m)

e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.) 5288 . 60 ft.(m)

f) Lowest adjacent (finished) grade (LAG) 5286 . 00 ft.(m)

g) Highest adjacent (finished) grade (HAG) 5289 . 27 ft.(m)

h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 0

i) Total area of all permanent openings (flood vents) in C3.h 0 sq. in. (sq. cm)

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.  
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME: GORDON N. ANDERSON LICENSE NUMBER: IDAHO 7314

TITLE: PRESIDENT COMPANY NAME: ANDERSON SURVEY GROUP

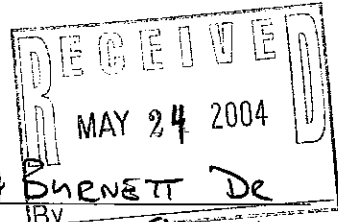
ADDRESS: 357 E. WATERTOWER LANE CITY: SALT LAKE STATE: UTAH ZIP CODE: 84142

SIGNATURE: [Signature] DATE: 18 MAY 2004 TELEPHONE: 208-888-7345

FEE \$200.00

Permit # \_\_\_\_\_

CITY OF HAILEY  
APPLICATION FOR  
FLOODPLAIN DEVELOPMENT PERMIT



Applicant's Name THOMAS A. LYNCH

Mailing Address 1404 BURNETT DR

Project Name \_\_\_\_\_

NAMPA, IDAHO 83651

Telephone # (208) 465-5064

Cell # (208) 890-4567

Fax # (208) 466-3441

Legal Description of Subdivision Development CEDAR BEND Lot 8, Block 1, Plat # \_\_\_\_\_

Physical Location of Subdivision Development 421 CEDAR ST

Description of Development

- Residential Construction       Non-Residential       New Construction
- On Single Lot       Subdivision       Excavation
- Addition or Improvements       Fill       Grading
- Watercourse Alteration       Other \_\_\_\_\_

*By National Flood Insurance Program (NFIP) rating rules, a sub-grade crawl space is rated as a basement and it will be reflected in your insurance premiums..*

REQUIRED ATTACHMENTS TO THIS APPLICATION:

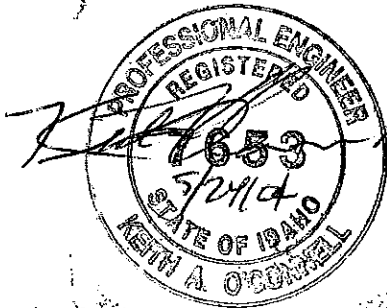
- 1.  Mean Sea Level (MSL) elevation of the lowest floor (including basement) of all structures *SEE EXHIBIT A 5287.75*
- \* 2.  MSL elevation to which any structure is floodproofed
- \* 3.  Certification by a registered professional engineer that the floodproofing methods meet the community floodproofing criteria
- 4.  A description of the extent to which any watercourse will be altered or relocated *NOT APPLICABLE*
- 5.  Base flood or 100 year flood elevation date for a development or subdivision *SEE EXHIBIT A 5288.60*

Attach the following information, if applicable

- \* 6.  Plans in duplicate, drawn to scale showing the nature, dimensions, and elevations of the area in question
- \* 7.  Existing or proposed structures, fill, storage of materials, drainage facilities *EXCESS MATERIAL TO BE EXPORTED & DISPOSED OFF SITE.*
- \* 8.  Location of items 6 and 7.

The proposed development is located in the  Floodway       100-year Floodplain Floodfringe

The Base Flood Elevation or depth number at the development site is 5288.60 feet.



*Keith A. O'Connell*  
KEITH A. O'CONNELL, PE  
CIVIL ENGINEER  
970 N. ARBOURN RD #300  
SPOKANE, WA 99212

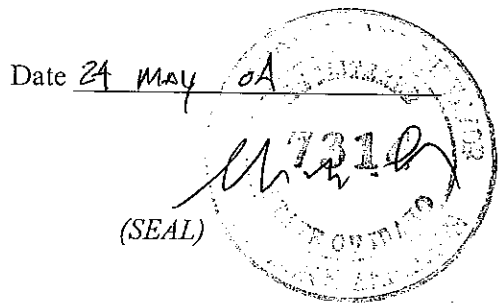
Permit # \_\_\_\_\_

PLAN REVIEW

The following is to be completed by a registered professional engineer or land surveyor.

3.10 feet - MSL elevation or depth number to which the structure is to be elevated.

\* \_\_\_\_\_ feet - MSL elevation or depth number to which the structure is to be floodproofed.



Date 24 MAY 04

Signature *Gordon N. Anderson*

Print Name GORDON N. ANDERSON

Title PRESIDENT ANDERSON SURVEY GROUP

Address 357 E. WATERTOWER LANE, SUITE F  
MERIDIAN, ID 83642

The following is to be completed by a community permit official.

All necessary information and certificates are attached.

**Permit Denied.** The proposed development is not in conformance with applicable Floodplain Management Standards.

**Permit Approved.** I have reviewed the plans and materials submitted in support of the proposed development and find them in compliance with applicable Floodplain Management Standards.

**Referred to Board of Adjustment.** The proposal is not in conformance with applicable Floodplain Management Standards (see attached explanation) and the application is referred to the Board of Adjustment for variance action.

Date 6-14-04

Signature *Diane Shay*

CONSTRUCTION REVIEW

Attached are the following:

- Completed FEMA elevation certificate based on finished construction. At foundation inspection, verify elevation of residence floor.
- Certificates of a registered professional engineer or land surveyor documenting the following elevations:

The certified as-built MSL elevation of the lowest floor of the structure is \_\_\_\_\_ feet.  
The certified as-built MSL floodproofed elevation of the structure is \_\_\_\_\_ feet.

Certificate of Occupancy or Compliance is Issued on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Signed \_\_\_\_\_

FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077  
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION

BUILDING OWNER'S NAME <b>THOMAS LYNCH - INLAND BUILDERS</b>	For Insurance Company Use: Policy Number
BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. <b>421 CEDAR STREET</b>	Company NAIC Number
CITY <b>HAILEY</b>	STATE <b>IDAHO</b>
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>LOT 8 BLOCK 1 - CEDAR BEND SUBDIVISION</b>	ZIP CODE <b>83333</b>
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.)	

LATITUDE/LONGITUDE (OPTIONAL) (##°-##'-###" or ##.#####) HORIZONTAL DATUM: SOURCE:  GPS (Type):  USGS Quad Map  Other

**RM-8-66A**

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

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SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

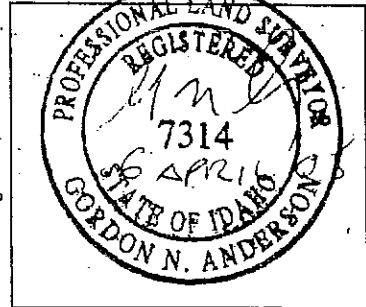
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Datum \_\_\_\_\_ Conversion/Comments \_\_\_\_\_

Elevation reference mark used \_\_\_\_\_ Does the elevation reference mark used appear on the FIRM?  Yes  No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	<b>5290.20</b> ft.(m)
<input type="checkbox"/> b) Top of next higher floor	<b>5290.20</b> ft.(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	_____ ft.(m)
<input type="checkbox"/> d) Attached garage (top of slab)	<b>5289.70</b> ft.(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	<b>5289.90</b> ft.(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	<b>5289.90</b> ft.(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	<b>5289.20</b> ft.(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	<b>0</b>
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h	<b>0</b> sq. in. (sq. cm)



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

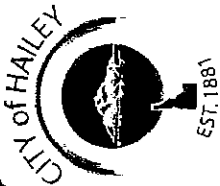
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I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME: **GORDON N. ANDERSON** LICENSE NUMBER: **7314**

TITLE: **PRESIDENT** COMPANY NAME: **ANDERSON SURVEY GROUP**

ADDRESS: **357 E WATER TOWER LN SUITE F MERIDIAN IDAHO 83642** CITY: **IDAHO** STATE: **IDAHO** ZIP CODE: **83642**

SIGNATURE: *[Signature]* DATE: **6 APRIL 05** TELEPHONE: **208-888-7345**



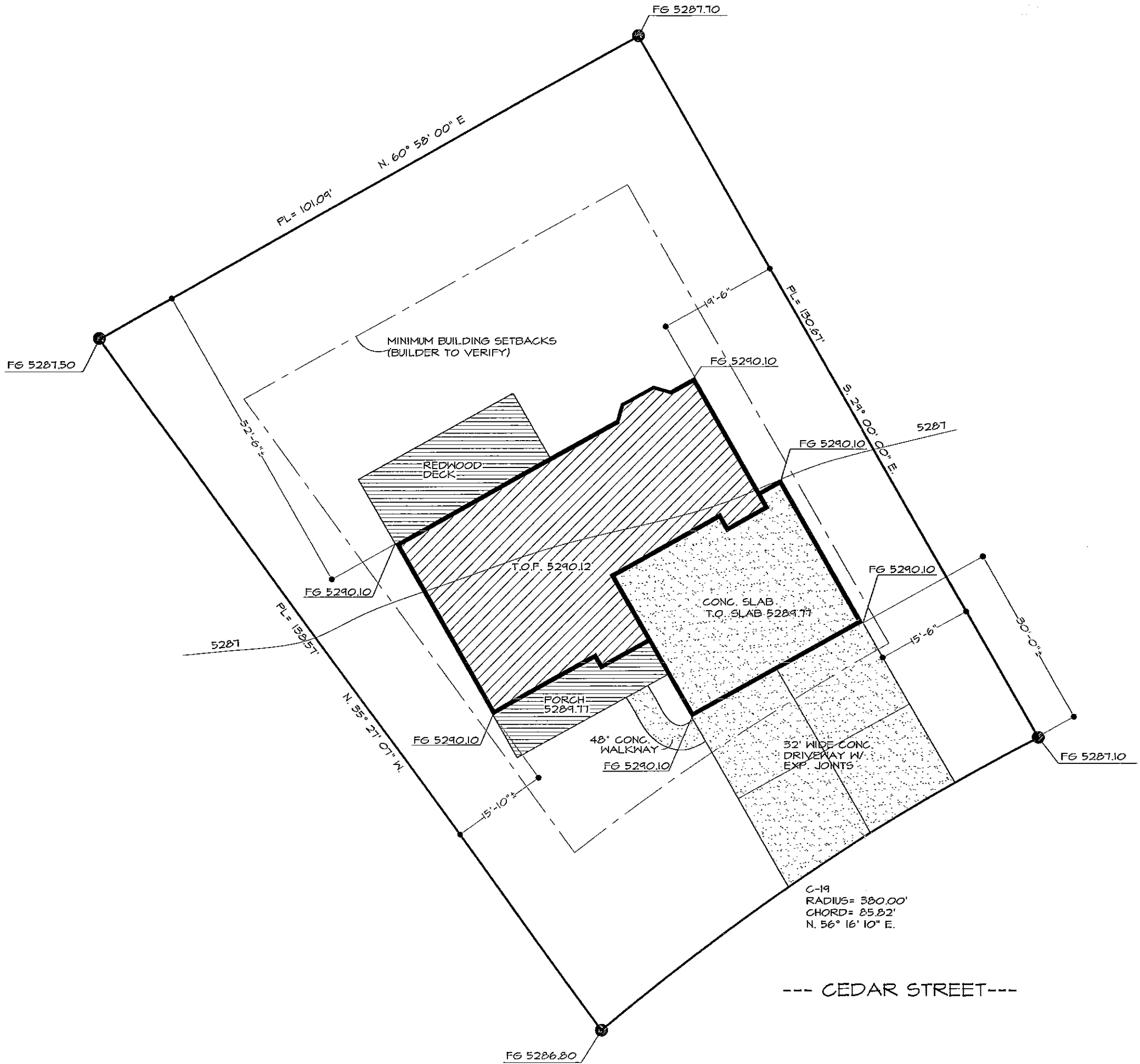
Building and Safety Department

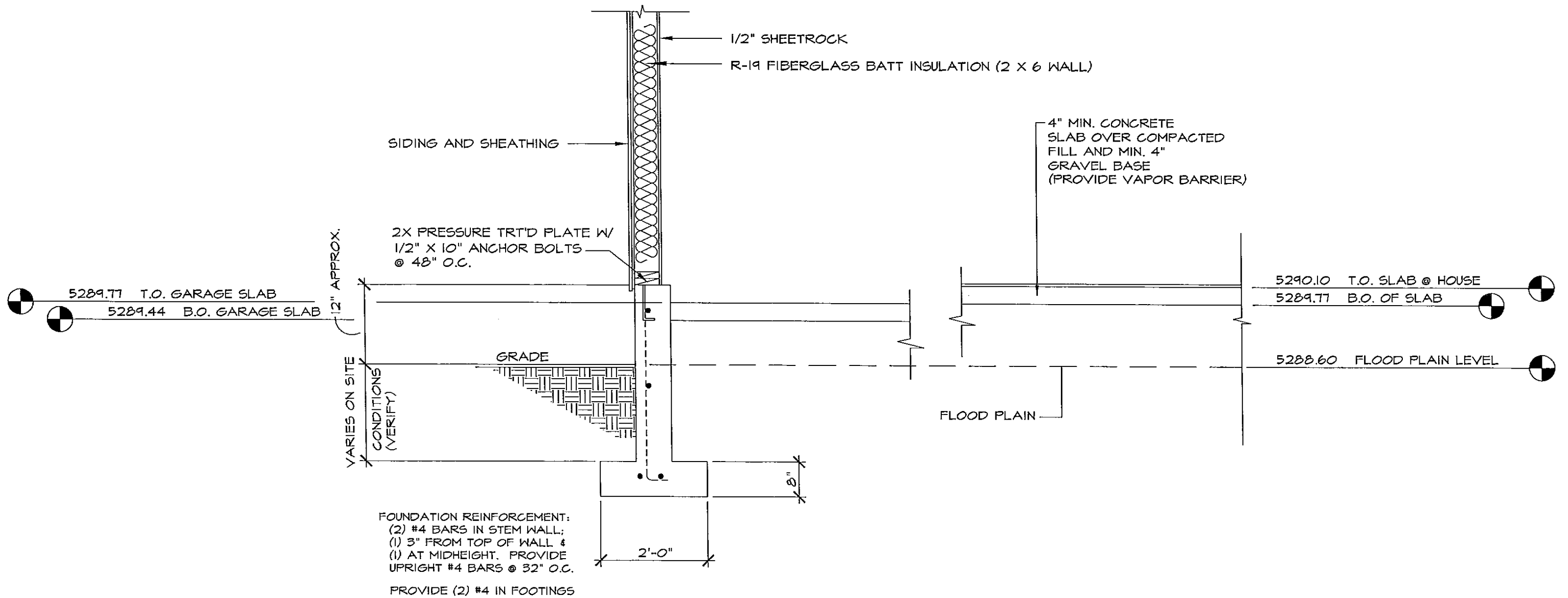
# Certificate of Occupancy

Address: 421 CEDAR STREET

This is to certify that the below described portion of the building at the above address has been inspected and was in compliance with the laws and ordinances adopted by the City of Hailey, Idaho, at the time of issuance of this Certificate of Occupancy.

Applicable portion: <u>RESIDENCE &amp; GARAGE</u>	Special conditions:
Building Permit number: <u>04-156</u>	
Applicable edition of code: <u>2000 IRC</u>	
Use and occupancy: <u>R-3</u>	
Type of construction: <u>V N.H.</u>	
Design occupant load: <u>N/A</u>	
Sprinkler system required: <u>N/A</u>	
Name of owner: <u>INLAND BUILDERS</u>	Inspected by: <u>[Signature]</u>
Address of owner: <u>ENGLE ISLAND</u>	Building official: <u>[Signature]</u>
	Date issued: <u>9/19/05</u>

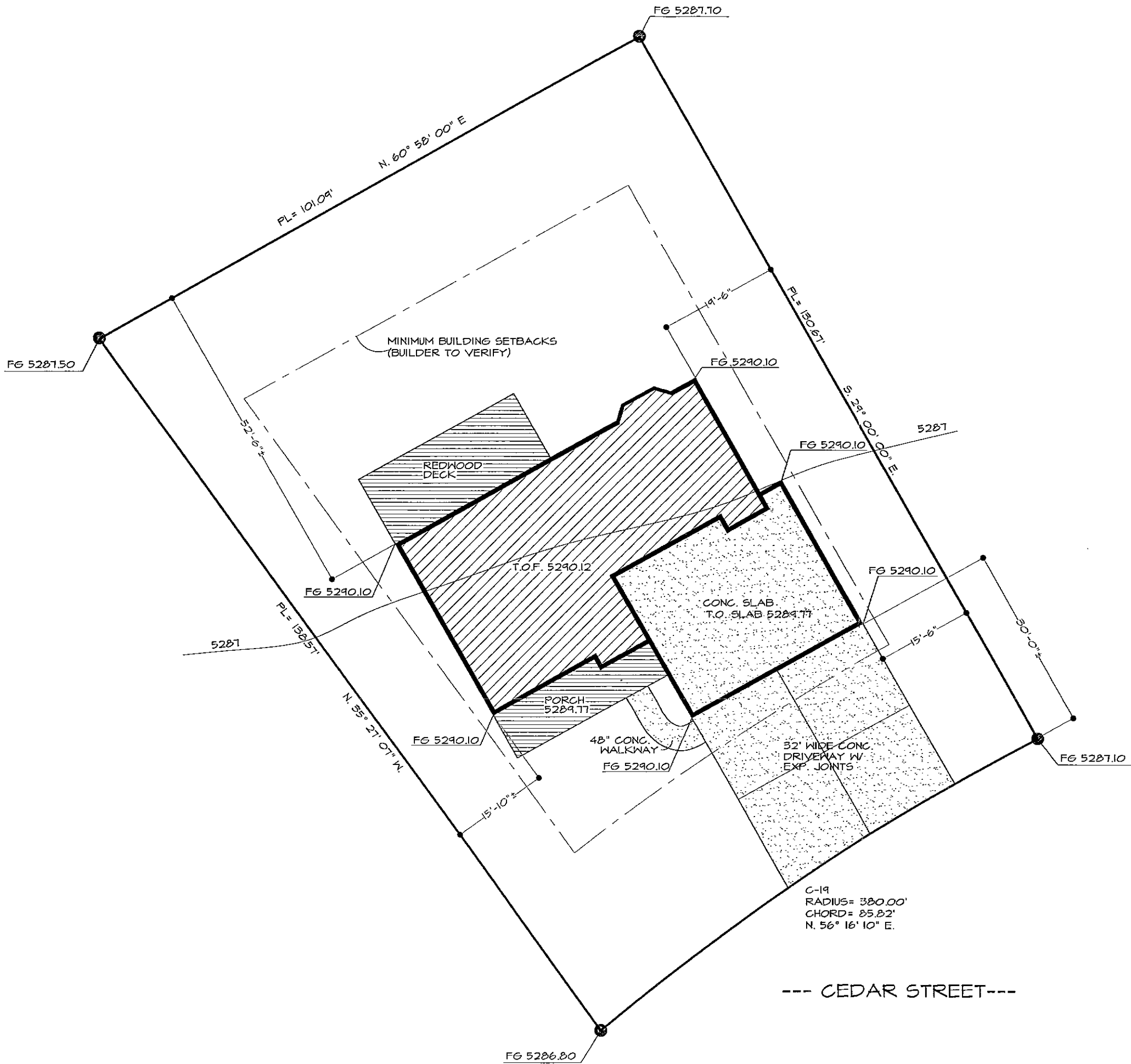




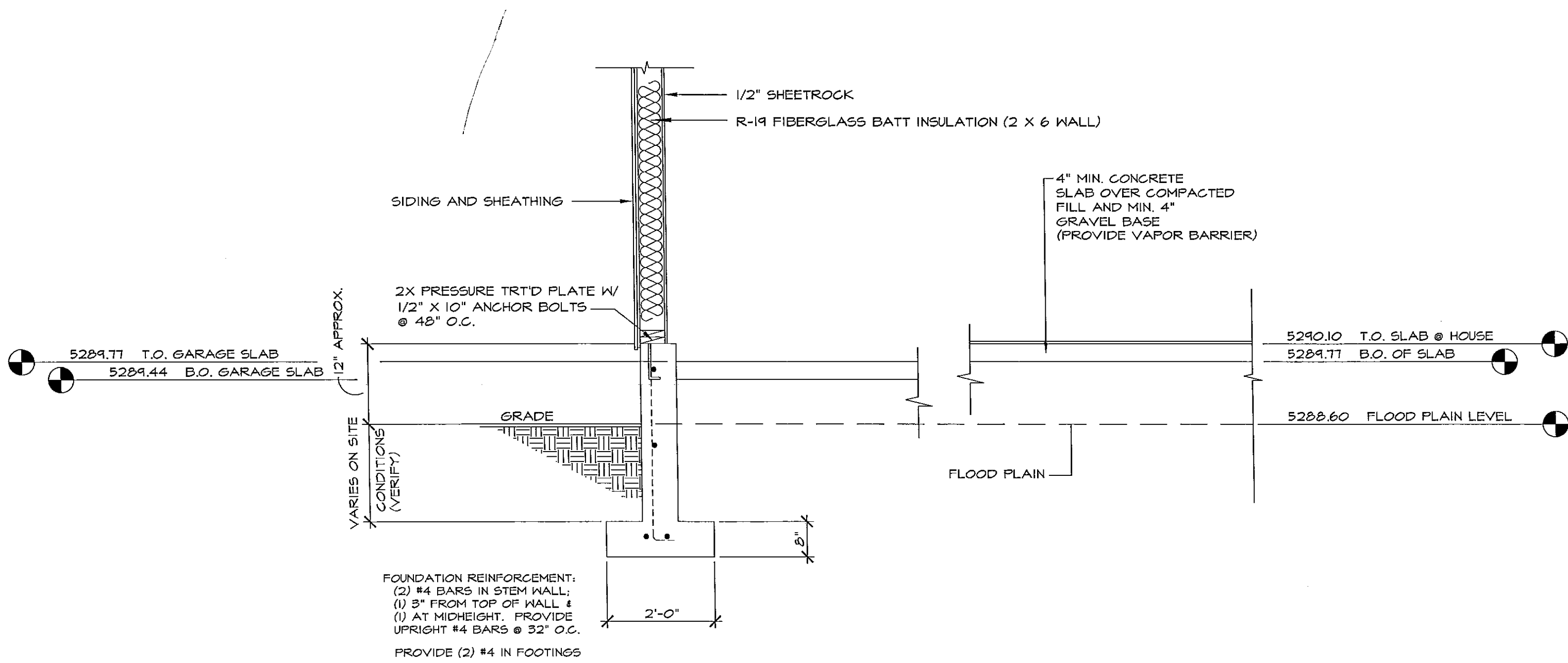
2  
A.5

EST. FLOOD PLAIN LEVEL

SCALE: 1/2" = 1'-0"







2  
A.5

EST. FLOOD PLAIN LEVEL

SCALE: 1/2" = 1'-0"