

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:	
BUILDING OWNER'S NAME Kieckbusch, Mark, PO Box 4713, Hailey, ID 83333			Policy Number	
BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 411 War Eagle Drive			Company NAIC Number	
CITY Hailey	STATE ID	ZIP CODE 83333		
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 7, Block 6, Della View Subdivision				
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) Residential				
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ###" or ##.#####)		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER City of Hailey 160022		B2. COUNTY NAME Blaine		B3. STATE ID	
B4. MAP AND PANEL NUMBER 160022 0664	B5. SUFFIX D	B6. FIRM INDEX DATE 03/17/97	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/17/97	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 5281.0

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____
 B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____
 B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

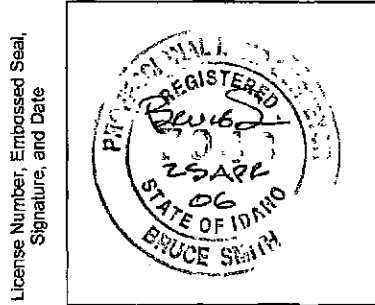
SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NGVD29 Conversion/Comments None
 Elevation reference mark used RMB-664 Does the elevation reference mark used appear on the FIRM? Yes No

- o a) Top of bottom floor (including basement or enclosure) 5281.0 ft.(m)
- o b) Top of next higher floor 5285.5 ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) n/a ft.(m)
- o d) Attached garage (top of slab) 5282.0 ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) 5282.5 ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 5281.0 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 5282.0 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 15
- o i) Total area of all permanent openings (flood vents) in C3.h 1825 sq. in. (sq. cm)



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Bruce Smith LICENSE NUMBER PLS 7048

TITLE <u>Professional Land Surveyor</u>	COMPANY NAME <u>Alpine Enterprises Inc</u>		
ADDRESS <u>P.O. Box 2037</u>	CITY <u>Ketchum</u>	STATE <u>ID</u>	ZIP CODE <u>83340</u>
SIGNATURE <u>Bruce Smith</u>	DATE <u>15Sep06</u>	TELEPHONE <u>208-727-1988</u>	

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:
BUILDING OWNER'S NAME Kieckbusch, Mark, PO Box 4713, Hailey, ID 83333		Policy Number	
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 411 War Eagle Drive		Company NAIC Number	
CITY Hailey	STATE ID	ZIP CODE 83333	
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 7, Block 6, Della View Subdivision			
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) Residential			
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ###.####")		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER City of Hailey 160022		B2. COUNTY NAME Blaine		B3. STATE ID	
B4. MAP AND PANEL NUMBER 0664	B5. SUFFIX D	B6. FIRM INDEX DATE 03/17/97	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/17/97	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 5281.0

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

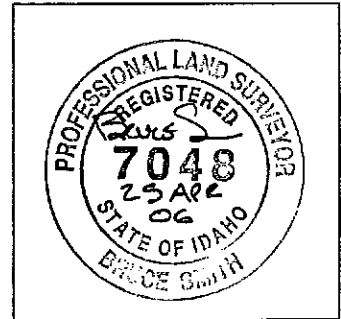
C2. Building Diagram Number 2 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NGVD29 Conversion/Comments None

Elevation reference mark used RM8-664 Does the elevation reference mark used appear on the FIRM? Yes No

- o a) Top of bottom floor (including basement or enclosure) 5278.9 ft.(m)
- o b) Top of next higher floor 5282.3 ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) n/a. ft.(m)
- o d) Attached garage (top of slab) 5281.1 ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) 5279.6 ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 5280.3 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 5281.0 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 4
- o i) Total area of all permanent openings (flood vents) in C3.h 136.6 sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Bruce Smith LICENSE NUMBER PLS 7048

TITLE Professional Land Surveyor COMPANY NAME Alpine Enterprises Inc

ADDRESS P.O. Box 2037 CITY Ketchum STATE ID ZIP CODE 83340

SIGNATURE Bruce Smith DATE 25Apr06 TELEPHONE 208-727-1988

8-4288 Holly Wheeler

IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 411 War Eagle Drive			Policy Number
CITY Hailey	STATE ID	ZIP CODE 83333	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Bottom of Crawl space = 5278.9 Finished Floor = 5282.3

This is an amended Certificate to replace the one prepared on June 30, 2003. It is proposed that the structure will be

elevated ~~2.5~~ ^{3.0} feet, and a new Certificate will be prepared to reflect those changes.

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number __ (Select the building diagram most similar to the building for which this certificate is being completed – see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is __ ft.(m) __ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is __ ft.(m) __ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is __ ft.(m) __ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?
 Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS CITY STATE ZIP CODE

SIGNATURE DATE TELEPHONE

COMMENTS

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft.(m) Datum: _____

G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft.(m) Datum: _____

LOCAL OFFICIAL'S NAME TITLE

COMMUNITY NAME TELEPHONE

SIGNATURE DATE

COMMENTS

For House

CITY OF HAILEY

POST CONSTRUCTION ELEVATION CERTIFICATE

Date: 9/12/07 Second Survey Community No. 160022

IMPORTANT

This form must be completed by a registered professional engineer or surveyor, then returned to the City of Hailey Building Department prior to obtaining a framing inspection.

Property Owner: Mark Kieckbusch Address: Box 4713 Hailey ID 83333

Property Description:

Subdivision: Della View Subd. Lot 7, Block 6, Plat
FIA Map Panel on which property is located: 160022 0664D Dated 3/17/97
FIA Map Zone in which property is located: AE
Base Flood Elevation at the proposed site: 5281.0 Feet
Required minimum elevation of lowest floor: 5281.0 Feet (Bottom Crawl)
Actual elevation of lowest floor: 5281.0 Feet (Bottom Crawl)

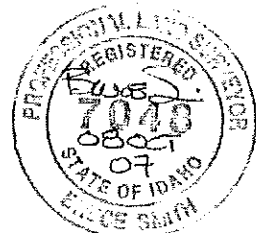
Finish Floor: 5285.5 Feet

ELEVATION CERTIFICATE

I certify that the building at the property location described above has the lowest floor at an elevation of 5281.0 feet, NGBD (mean sea level).

Date: 9/11/07 Certifier's Name: BRUCE SMITH
Title: PROFESSIONAL LAND SURVEYOR
Address: PO Box 2037, KETCHUM, ID 83340
Signature: Bruce S.

Affix Seal or Stamp



ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:
BUILDING OWNER'S NAME Kieckbusch, Mark, PO Box 4713, Hailey, ID 83333			Policy Number
BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 411 War Eagle Drive			Company NAIC Number
CITY Hailey	STATE ID	ZIP CODE 83333	
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 7, Block 6, Della View Subdivision			
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) Residential			
LATITUDE/LONGITUDE (OPTIONAL) (##°-##'-###" or ##.#####°)		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER City of Hailey 160022		B2. COUNTY NAME Blaine	B3. STATE ID
B4. MAP AND PANEL NUMBER 0664	B5. SUFFIX D	B6. FIRM INDEX DATE 03/17/97	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/17/97
B8. FLOOD ZONE(S) AE		B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 5281.0	

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____
 B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____
 B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

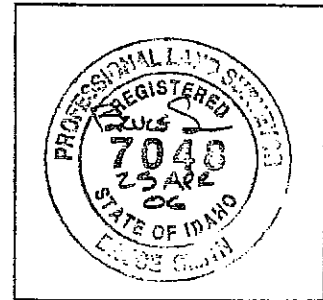
C2. Building Diagram Number 2 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, ARIA, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NGVD29 Conversion/Comments None

Elevation reference mark used RMB-664 Does the elevation reference mark used appear on the FIRM? Yes No

- o a) Top of bottom floor (including basement or enclosure) 5278.9 ft.(m)
- o b) Top of next higher floor 5282.3 ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) n/a ft.(m)
- o d) Attached garage (top of slab) 5281.1 ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) 5279.6 ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 5280.3 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 5281.0 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 4
- o i) Total area of all permanent openings (flood vents) in C3.h 136.6 sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Bruce Smith		LICENSE NUMBER PLS 7048	
TITLE Professional Land Surveyor	COMPANY NAME Alpine Enterprises Inc		
ADDRESS P.O. Box 2037	CITY Ketchum	STATE ID	ZIP CODE 83340
SIGNATURE <i>Bruce Smith</i>	DATE 25Apr06	TELEPHONE 208-727-1988	

IMPORTANT: In these spaces, copy the corresponding information from Section A.

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.

411 War Eagle Drive

CITY

Hailey

STATE

ID

ZIP CODE

83333

For Insurance Company Use:

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Bottom of Crawl space = 5278.9 Finished Floor = 5282.3

This is an amended Certificate to replace the one prepared on June 30, 2003. It is proposed that the structure will be

elevated 2.0 feet, and a new Certificate will be prepared to reflect those changes.

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

E1. Building Diagram Number ___ (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

E2. The top of the bottom floor (including basement or enclosure) of the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).

E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ___ ft.(m) ___ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.

E4. The top of the platform of machinery and/or equipment servicing the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).

E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?

Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS

CITY

STATE

ZIP CODE

SIGNATURE

DATE

TELEPHONE

COMMENTS

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER

G5. DATE PERMIT ISSUED

G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is:

___ ft.(m)

Datum: ___

G9. BFE or (in Zone AO) depth of flooding at the building site is:

___ ft.(m)

Datum: ___

LOCAL OFFICIAL'S NAME

TITLE

COMMUNITY NAME

TELEPHONE

SIGNATURE

DATE

COMMENTS

CITY OF HAILEY

For Garage

POST CONSTRUCTION ELEVATION CERTIFICATE

Date: 9/12/07 Second Survey Community No. 160022

IMPORTANT

This form must be completed by a registered professional engineer or surveyor, then returned to the City of Hailey Building Department prior to obtaining a framing inspection.

Property Owner: Mark Kiebusch Address: Box 4713
Hailey ID 83333

Property Description:

Subdivision: Della View Subd. Lot 7, Block 6, Plat _____
FIA Map Panel on which property is located: 160022 0664D dated 3/17/97
FIA Map Zone in which property is located: AE
Base Flood Elevation at the proposed site: 5281.0 Feet
Required minimum elevation of lowest floor: 5281.5 Feet (per plan)
Actual elevation of lowest floor: 5282.0 Feet

ELEVATION CERTIFICATE

I certify that the building at the property location described above has the lowest floor at an elevation of 5282.0 feet, NGBD (mean sea level).

Date: 9/12/07 Certifier's Name: Bruce Smith
Title: PROFESSIONAL LAND SURVEYOR
Address: PO Box 2037, KETCHUM, ID 83340
Signature: Bruce S.

Affix Seal or Stamp



CITY OF HAILEY APPLICATION FOR FLOODPLAIN DEVELOPMENT PERMIT

Applicant's Name MARK KIECKBUSCH Mailing Address Box 4713
Project Name KIECKBUSCH HAILEY, ID 83333
Telephone # 381-2378 Cell # _____ Fax # _____
Legal Description of Subdivision Development DELLA VIEW SUBD Lot 7, Block 6, Plat #
Physical Location of ~~Subdivision Development~~ PROJECT 411 WAR EAGLE DRIVE

- | <u>Description of Development</u> | | |
|--|--|---|
| <input checked="" type="checkbox"/> Residential Construction | <input type="checkbox"/> Non-Residential | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> On Single Lot | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Excavation |
| <input checked="" type="checkbox"/> Addition or Improvements | <input checked="" type="checkbox"/> Fill | <input checked="" type="checkbox"/> Grading |
| <input type="checkbox"/> Watercourse Alteration | <input type="checkbox"/> Other _____ | |

By National Flood Insurance Program (NFIP) rating rules, a sub-grade crawl space is rated as a basement and it will be reflected in your insurance premiums..

REQUIRED ATTACHMENTS TO THIS APPLICATION:

- Mean Sea Level (MSL) elevation of the lowest floor (including basement) of all structures
- MSL elevation to which any structure is flood-proofed
- Certification by a registered professional engineer that the flood-proofing methods meet the community flood-proofing criteria
- A description of the extent to which any watercourse will be altered or relocated
- Base flood or 100 year flood elevation date for a development or subdivision

Attach the following information, if applicable

- Plans in duplicate, drawn to scale showing the nature, dimensions, and elevations of the area in question
- Existing or proposed structures, fill, storage of materials, drainage facilities
- Location of items 6 and 7.

The proposed development is located in the Floodway 100-year Floodplain Flood-fringe
The Base Flood Elevation or depth number at the development site is 5281.0 feet.

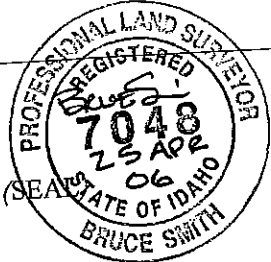
PLAN REVIEW

The following is to be completed by a registered professional engineer or land surveyor.

5284.4 feet - MSL elevation or depth number to which the structure is to be elevated. = BOTTOM OF FLOOR WET SYSTEM

5282.4 feet - MSL elevation or depth number to which the structure is to be flood-proofed. THIS 1' BELOW BOTTOM OF FLOOR SYSTEM TO ALLOW FOR AIR DUCTS

Date _____



Signature Bruce S.
Print Name BRUCE SMITH
Title PROFESSIONAL LAND SURVEYOR
Address Box 2037, KETCHUM, ID 83340

The following is to be completed by a community permit official.

All necessary information and certificates are attached.

- Permit Denied.** The proposed development is not in conformance with applicable Floodplain Management Standards.
- Permit Approved.** I have reviewed the plans and materials submitted in support of the proposed development and find them in compliance with applicable Floodplain Management Standards.
- Referred to Board of Adjustment.** The proposal is not in conformance with applicable Floodplain Management Standards (see attached explanation) and the application is referred to the Board of Adjustment for variance action.

Date _____

Signature _____

CONSTRUCTION REVIEW

Attached are the following:

1. Completed FEMA elevation certificate based on finished construction. At foundation inspection, verify elevation of residence floor.
2. Certificates of a registered professional engineer or land surveyor documenting the following elevations:

The certified as-built MSL elevation of the lowest floor of the structure is _____ feet.
The certified as-built MSL flood-proofed elevation of the structure is _____ feet.

Certificate of Occupancy or Compliance is Issued on this _____ day of _____, 20____

Signed _____

ALPINE ENTERPRISES INC.

Surveying, Mapping, GPS, GIS and Natural Hazards Consulting

DATE: April 25, 2006

TO: City of Hailey
Building Department
Hailey, ID 83333

RE: Attachment to Floodplain Development Permit – Kieckbusch – 411 War Eagle Drive

Dear Building Department;

I have used this separate sheet as the required attachments to the Floodplain Development Permit. I have also attached an Elevation Certificate describing *existing conditions* that may answer some of the questions in more detail.

1. The proposed lowest floor (bottom of crawlspace) will be backfilled to 5281.0 which equals the Base Flood elevation.
2. The proposed improvements will be wet floodproofed to 5282.4 to allow for air ducts in the crawlspace.
3. Hailey Ordinance 4.10 FLOOD HAZARD OVERLAY DISTRICT (FH) Section 4.10.7.2 r states that the certification by a PE is not necessary if:
 1. A minimum of 2 openings having a net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. *We will use 13 "smartvents" providing a total of 2600 square inches of vent for approximately 1800 square feet of enclosed space. Please refer to attached copy of Smartvent brochure.*
 2. The bottom of all openings shall be no higher than 1' above the proposed grade. *The openings will be 0.4' above proposed grade.*
 3. Openings may be equipped with screens, louvers, or other coverings or devices provided that they permit the automatic entry and exit of floodwater. *The Smartvents are designed for this purpose.*In addition, the foundation plans were prepared by a PE.
4. No watercourse will be altered or relocated.
5. The Base Flood elevation per FEMA is 5281.0
6. Plans are attached.
7. Plans for existing and proposed structure are attached. Fill will range from 0' to only 0.7' at the walls and will slope away from the structure at 2%. The crawlspace will be backfilled to the BFE.
8. Materials will be stored off site and delivered to the site as needed.

The City of Hailey Post Construction Certificate and a new FEMA Elevation Certificate will be prepared as soon as the new foundation walls are completed.

Please feel free to contact me if you have any questions, comments, or I can be of further assistance.

Respectfully submitted,


Bruce Smith, PLS 7048

471_Kieckbusch_HFP_25Apr06.doc

**CITY OF HAILEY
APPLICATION FOR
FLOODPLAIN DEVELOPMENT PERMIT**

Applicant's Name MARK KIECKBUSCH Mailing Address Box 473
Project Name KIECKBUSCH HAILEY, ID 83333
Telephone # 381-2378 Cell # _____ Fax # _____
Legal Description of Subdivision Development DELLA VIEW SUBD Lot 7, Block 6, Plat #
Physical Location of Subdivision Development PROJECT 411 WAR EAGLE DRIVE

Description of Development

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Residential Construction | <input type="checkbox"/> Non-Residential | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> On Single Lot | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Excavation |
| <input checked="" type="checkbox"/> Addition or Improvements | <input checked="" type="checkbox"/> Fill | <input checked="" type="checkbox"/> Grading |
| <input type="checkbox"/> Watercourse Alteration | <input type="checkbox"/> Other _____ | |

By National Flood Insurance Program (NFIP) rating rules, a sub-grade crawl space is rated as a basement and it will be reflected in your insurance premiums..

REQUIRED ATTACHMENTS TO THIS APPLICATION:

- Mean Sea Level (MSL) elevation of the lowest floor (including basement) of all structures
- MSL elevation to which any structure is flood-proofed
- Certification by a registered professional engineer that the flood-proofing methods meet the community flood-proofing criteria
- A description of the extent to which any watercourse will be altered or relocated
- Base flood or 100 year flood elevation date for a development or subdivision

Attach the following information, if applicable

- Plans in duplicate, drawn to scale showing the nature, dimensions, and elevations of the area in question
- Existing or proposed structures, fill, storage of materials, drainage facilities
- Location of items 6 and 7.

The proposed development is located in the Floodway 100-year Floodplain Flood-fringe
The Base Flood Elevation or depth number at the development site is 5281.0 feet.

PLAN REVIEW

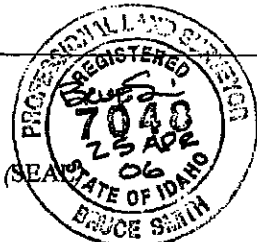
The following is to be completed by a registered professional engineer or land surveyor.

5283.4 feet - MSL elevation or depth number to which the structure is to be elevated. = BOTTOM OF FLOOR WET SYSTEM

5282.4 feet - MSL elevation or depth number to which the structure is to be flood-proofed.

THIS 1' BELOW BOTTOM OF FLOOR SYSTEM TO ALLOW FOR AIR DUCTS

Date _____



Signature _____

Bruce Smith

Print Name _____

BRUCE SMITH

Title _____

PROFESSIONAL LAND SURVEYOR

Address _____

Box 2037, KETCHUM, ID 83340

The following is to be completed by a community permit official.

All necessary information and certificates are attached.

Permit Denied. The proposed development is not in conformance with applicable Floodplain Management Standards.

Permit Approved. I have reviewed the plans and materials submitted in support of the proposed development and find them in compliance with applicable Floodplain Management Standards.

Referred to Board of Adjustment. The proposal is not in conformance with applicable Floodplain Management Standards (see attached explanation) and the application is referred to the Board of Adjustment for variance action.

4/26/06

Date _____

Signature _____

Diane Shray
Doreen Fong

CONSTRUCTION REVIEW

Attached are the following:

1. Completed FEMA elevation certificate based on finished construction. At foundation inspection, verify elevation of residence floor.
2. Certificates of a registered professional engineer or land surveyor documenting the following elevations:

The certified as-built MSL elevation of the lowest floor of the structure is _____ feet.

The certified as-built MSL flood-proofed elevation of the structure is _____ feet.

Certificate of Occupancy or Compliance is Issued on this _____ day of _____, 20____

Signed _____

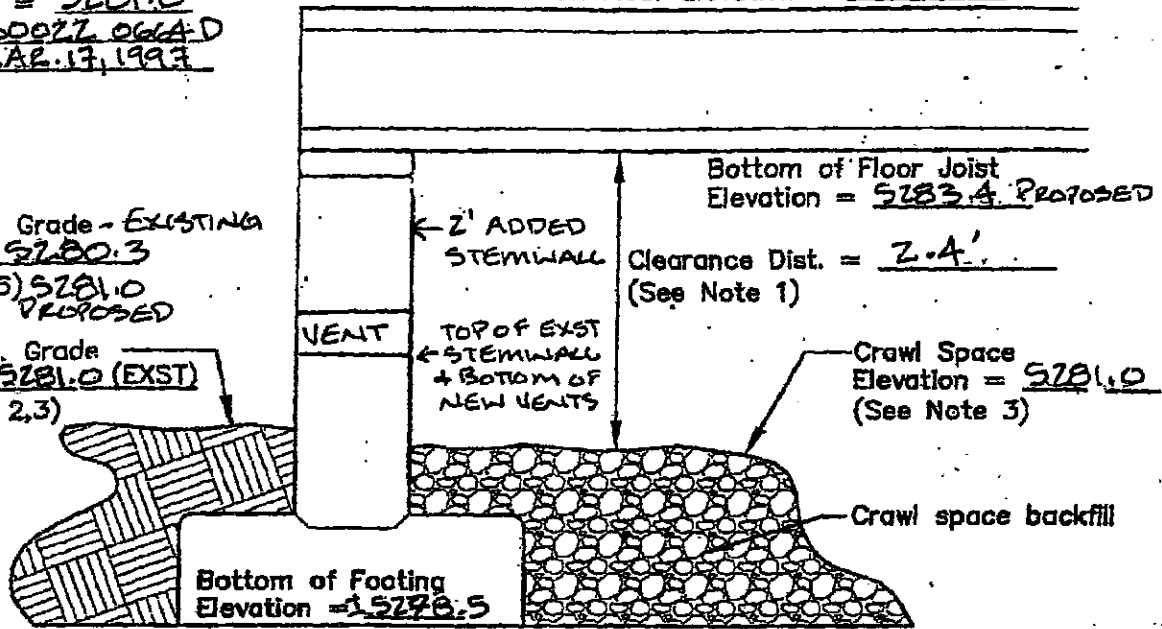
PROPOSED KIEKBUSCH FOUNDATION PLAN

Base Flood Elevation = 5281.0
 Panel 160027 064-D
 Dated MAR. 17, 1993

Finish Floor Elevation = 5284.3

Lowest Adj. Grade - EXISTING
 Elevation = 5280.3
 (See Note 6) 5281.0
 PROPOSED

Highest Adj. Grade
 Elevation = 5281.0 (EXST)
 (See Notes 2,3)



- 1) The bottom of floor joist shall be a minimum of 12" above the Base Flood Elevation Per the City of Hailey Flood Plain Ordinance. The Building Code requires a minimum clearance of 18" between the crawl space and bottom of floor joist. BOTTOM OF FLOOR JOIST IS PROPOSED AT 2.4' ABOVE BFE
- 2) The adjacent grade elevation may not be filled higher than the Base Flood Elevation (Per the City of Hailey Flood Plain Ordinance). If the existing grade is above the Base Flood Elevation no additional fill is allowed. WE PROPOSE TO FILL INSIDE + OUT TO BFE AT 5281.0
- 3) The crawl space shall be backfilled to either:
 - a) equal to or above the Base Flood Elevation, or
 - b) equal to or above the highest adjacent ground elevation.

If the crawl space is backfilled to the highest adjacent ground elevation and it is still below the Base Flood Elevation foundation vents are required AND SHALL BE DESCRIBED ON EITHER THIS OR A SEPARATE SHEET.

- 4) This drawing does not imply this exact footing detail is required, only that the dimensions to the surfaces shown shall be provided for building permit review.
- 5) If adjacent attached garage, the lowest top of slab elevation is 5281.4
- 6) Building Code requires a minimum of two feet of cover from the lowest adjacent grade to the bottom of the footing. ✓

City of Hailey
 Floodplain Foundation Detail (Primary Residence)