

- NOTES:**
- Refer to the Plat Notes on the original Plat of BDB Subdivision. This property is subject to the Covenants, Conditions, and Restrictions for Subdivision recorded as Instrument No. 501958, Records of Blaine County, Idaho.
  - Within the proposed asphalt and sidewalks shown hereon, easements are granted for access and for the maintenance and reconstruction of utilities.
  - Parcel A is an unbuildable parcel to be utilized for snow storage, parking access to Lots 1-3, and a public utility easement.
  - The access lane into Parkview Business Center is designated as a Fire Truck Access Lane and shall be posted with a sign which reads "Fire Access - No Parking".
  - Snow Storage Easements for the parking lot areas shown hereon are to benefit all lots within this plat. Lot owners may relocate said easements with a plat amendment as long as predetermined square footage does not decrease.
  - Refer to amended access easement recorded as Instrument No. \_\_\_\_\_, Records of Blaine County, Idaho to benefit lot 2, block 1, BDB Subdivision.
  - Current Zoning is Limited Business District (L.B).
  - This property is subject to the Noise and Aviation Easement and Non-Suit Covenant recorded as Instrument No. \_\_\_\_\_, Records of Blaine County, Idaho.
  - A "Notice of Proposed Construction or Alteration", FAA Form 7460-1, shall be submitted for any proposed development within this subdivision.

RECEIVED  
APR 27 2009



OFFICE OF ARCHITECTURE  
PLANNING  
AND DESIGN

Principal:  
TOBIN T DOUGHERTY  
ARCHITECT AIA

SUN VALLEY, ID OFFICE  
371 WALNUT AVE NORTH SUITE A  
P.O. BOX 14001-303  
KETCHUM, ID 83340  
PH. 208.726-8112  
FX. 208.726-9763

**C1.0**  
Project Number:  
Sheet Date: April 24, 09

NO	DATE	BY	REVISIONS

**Galena Engineering Inc.**  
Civil Engineers & Land Surveyors  
880 Second Avenue North  
P.O. Box 425  
Ketchum, Idaho 83340  
(208) 728-4728  
(208) 726-4763 fax  
email galena@galena-engineering.com

**REUSE OF DRAWINGS**  
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

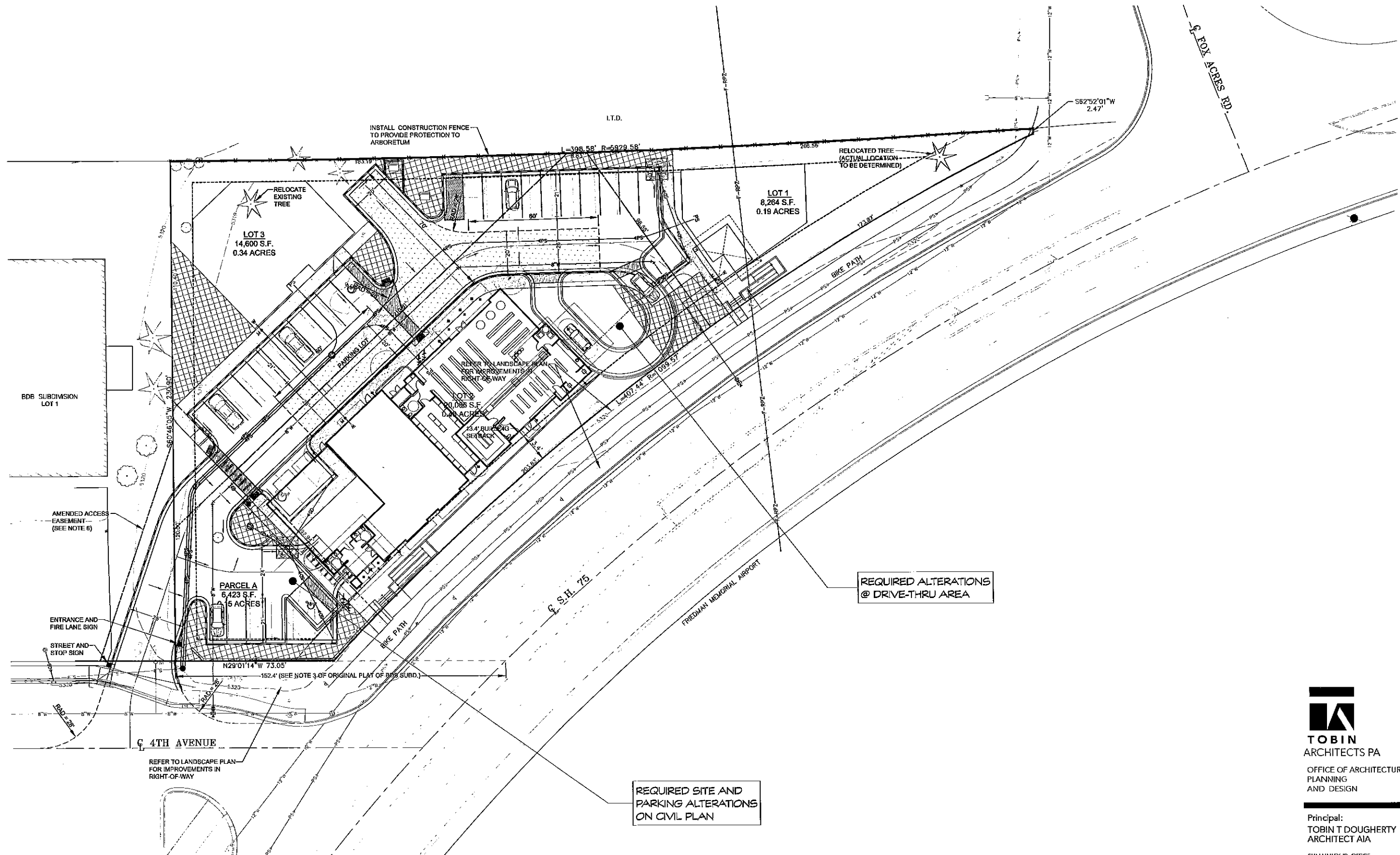
DESIGNED BY \_\_\_\_\_ DATE \_\_\_\_\_  
CT \_\_\_\_\_ DATE \_\_\_\_\_  
DRAWN BY \_\_\_\_\_ DATE \_\_\_\_\_  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

A PRELIMINARY PLAT SHOWING  
**R. DAVIS BUSINESS CENTER**  
WHEREIN LOT 2, BDB SUBDIVISION IS SUBDIVIDED  
WITHIN SECTION 10 & 15, T.2 N., R.18 E., B.M., CITY OF HALLEY, BLAINE COUNTY, IDAHO  
PREPARED FOR BRUCE ALLEN

PROJECT INFORMATION  
R:\SDSK\FRD\A\6101\dwg\Boundary-Plat\6101\_pplat\_060805.dwg 7/13/2005 9:20:02 AM MDT

SHT 1 OF 1

The Architect expressly reserves all Copyright and other Proprietary Rights in these Plans. These Plans are NOT to be Reproduced, Altered or Copied in any form or manner whatsoever, nor are they to be assigned, loaned, or given without the express written permission of the Architect. In the event of unauthorized reuse of these Plans by a third party, the Architect shall be held harmless. Tobin T. Dougherty Architects Copyright 2009



**PROPOSED SITE ALTERATIONS** **BUILDING OVERLAY PLAN**

SCALE: 1" = 20'-0"



R. Davis Buisness Park  
 South Main Street and 4th Ave  
 Hailey, Idaho

The Architect expressly reserves its Common Law Copyright and other Proprietary Rights in these Plans. These Plans are NOT to be reproduced, altered or copied in any form or manner whatsoever, nor are they to be given to a third party without first obtaining written permission of the Architect. In the event of any alteration of these plans by a third party, the Architect shall be held harmless. Tobin T Dougherty Architects Copyright 2009

**TOBIN**  
 ARCHITECTS PA

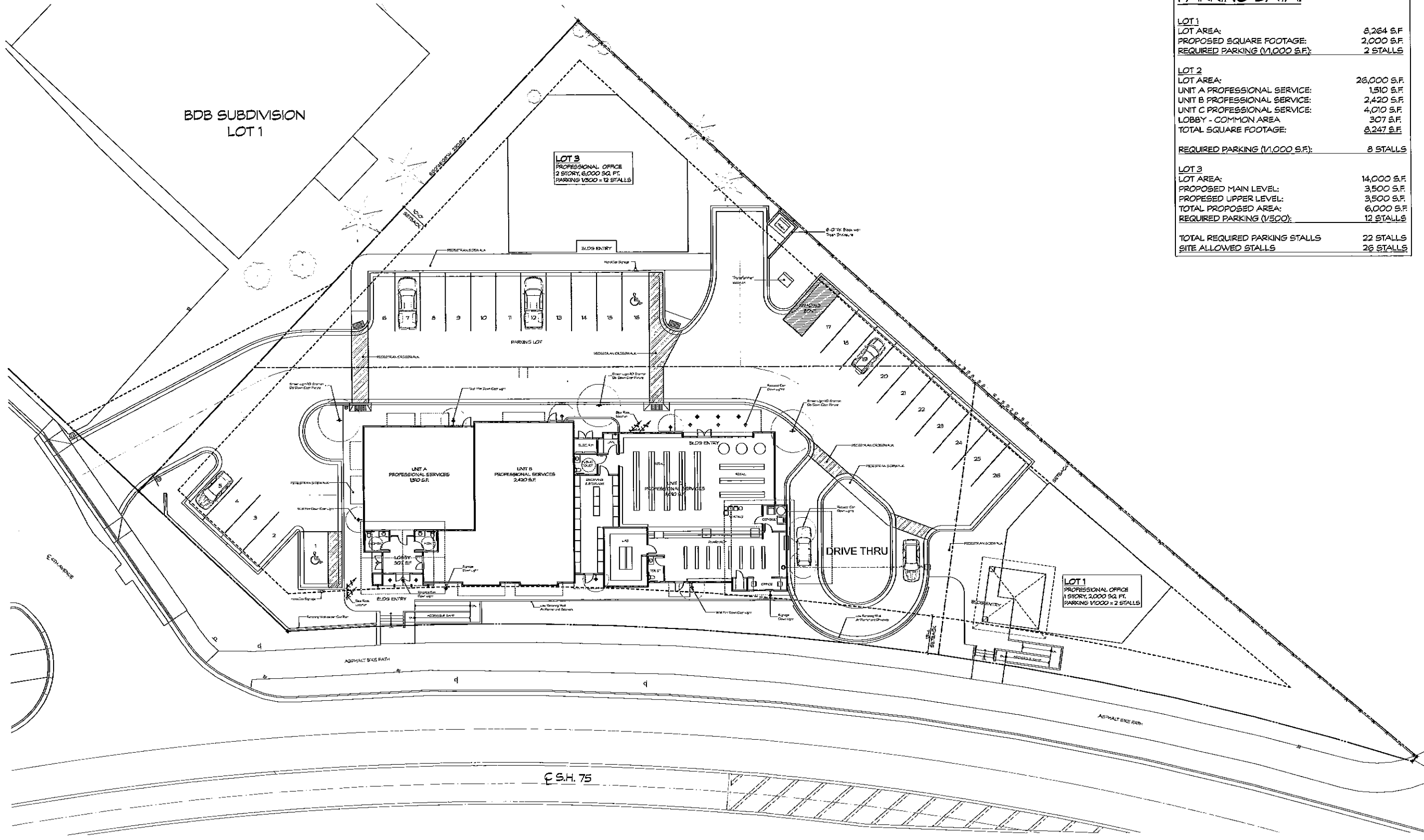
OFFICE OF ARCHITECTURE  
 PLANNING  
 AND DESIGN

Principal:  
 TOBIN T DOUGHERTY  
 ARCHITECT AIA

SUN VALLEY, ID OFFICE  
 371 WALNUT AVE NORTH SUITE A  
 P.O. BOX 14001-308  
 KEETCHUM, ID 83340  
 PH. 208.726-8112  
 FX. 208.726-9763

**C1.1**

Project Number:  
 Sheet Date: April 24.09



PARKING DATA:	
<b>LOT 1</b>	
LOT AREA:	8,264 S.F.
PROPOSED SQUARE FOOTAGE:	2,000 S.F.
REQUIRED PARKING (1,000 S.F.):	2 STALLS
<b>LOT 2</b>	
LOT AREA:	26,000 S.F.
UNIT A PROFESSIONAL SERVICE:	1,510 S.F.
UNIT B PROFESSIONAL SERVICE:	2,420 S.F.
UNIT C PROFESSIONAL SERVICE:	4,010 S.F.
LOBBY - COMMON AREA:	307 S.F.
TOTAL SQUARE FOOTAGE:	8,247 S.F.
REQUIRED PARKING (1,000 S.F.):	8 STALLS
<b>LOT 3</b>	
LOT AREA:	14,000 S.F.
PROPOSED MAIN LEVEL:	3,500 S.F.
PROPOSED UPPER LEVEL:	3,500 S.F.
TOTAL PROPOSED AREA:	6,000 S.F.
REQUIRED PARKING (1,500):	12 STALLS
TOTAL REQUIRED PARKING STALLS:	22 STALLS
SITE ALLOWED STALLS:	26 STALLS

# BUILDING 2

# LOT 2 BUILDING / SITE PLAN

R. Davis Business Park  
 South Main Street and 4th Ave  
 Hailey, Idaho

SCALE: 1/16" = 1'-0"

PLAN NORTH



The Architect expressly reserves its Common Law Copyright and other Property Rights in these Plans. These Plans are NOT to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. In the event of any unauthorized use of these plans by a third party, the Architect shall be held harmless. Tobin T Dougherty Architects Copyright 2020



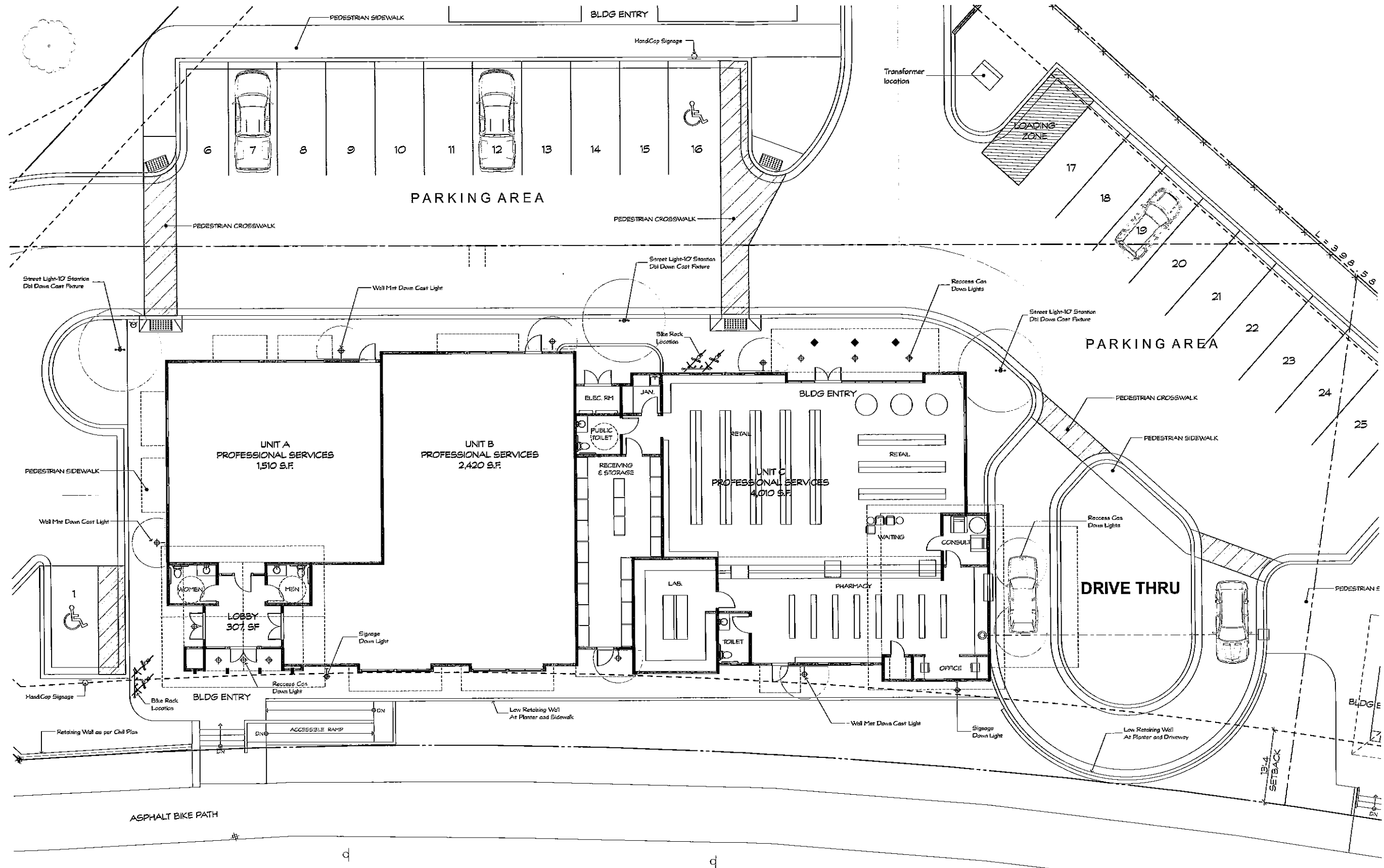
OFFICE OF ARCHITECTURE  
 PLANNING  
 AND DESIGN

Principal:  
 TOBIN T DOUGHERTY  
 ARCHITECT AIA

SUN VALLEY, ID OFFICE  
 371 WALNUT AVE NORTH SUITE A  
 P.O. BOX 14001-308  
 KEETCHUM, ID 83340  
 PH. 208.726-8112  
 FX. 208.726-9763

# P-A1

Project Number:  
 Sheet Date: April 24, 09



# BUILDING 2

# GROUND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

R. Davis Buisness Park  
 South Main Street and 4th Ave  
 Hailey, Idaho



The Architect expressly reserves its Common Law Copyright and other Property Rights in these Plans. These Plans are NOT to be Reproduced, Altered or Copied in any form or manner whatsoever, nor are they to be assigned to a third party without the written consent of the Architect. In the event of unauthorized reuse of these plans by a third party, the Architect shall be held harmless. Tobin T. Dougherty Architect Copyright 2009



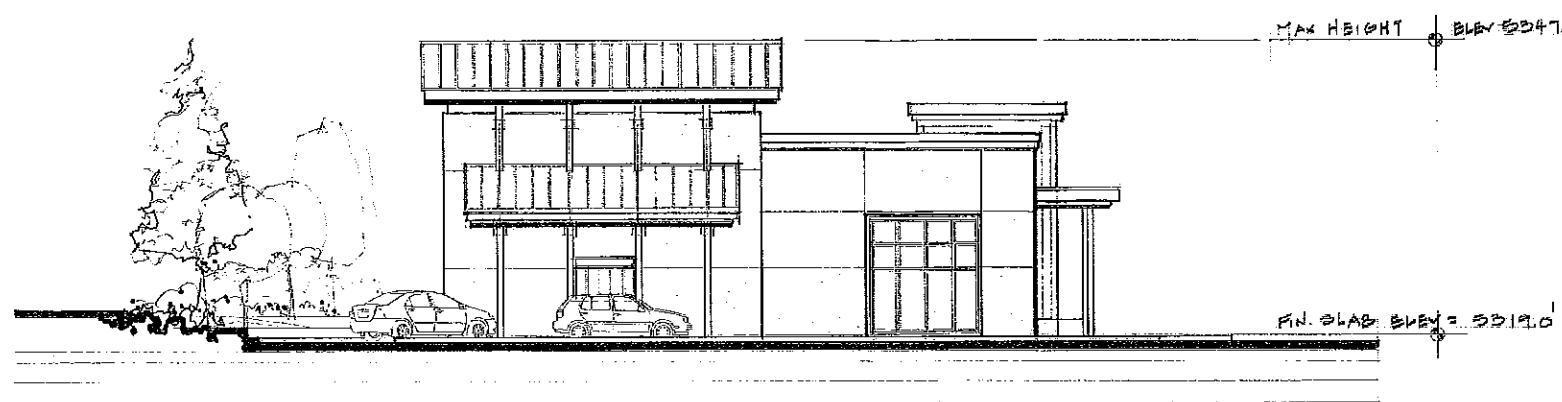
OFFICE OF ARCHITECTURE  
 PLANNING  
 AND DESIGN

Principal:  
 TOBIN T DOUGHERTY  
 ARCHITECT AIA

SUN VALLEY, ID OFFICE  
 371 WALNUT AVENUE NORTH SUITE A  
 PO BOX 14001-303  
 KETCHUM, ID 83340  
 PH. 208.726-8112  
 FX. 208.726-9763

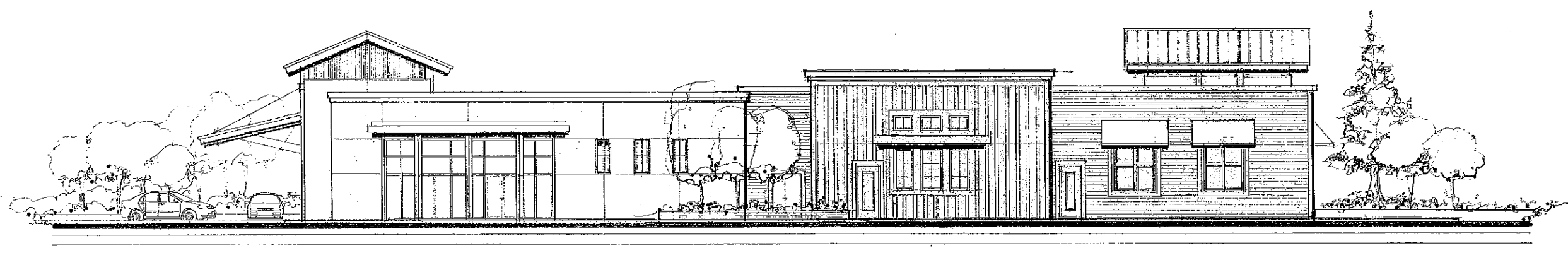
## P-A2

Project Number:  
 Sheet Date: April 24, 09



- EXTERIOR FINISH MATERIALS**
- Tower Gable Ends, Gable Roofing and Window Awnings
  - Galvanized Steel Corrugated Panels ( Vertical )
  - Cement Plaster finish Sand Trowel Finish
  - 6" Horizontal Lap Siding ( Paint Grade Finish )
  - Wood Timber Beams at Towers ( Stain Grade Finish )
  - Wood Timber Beams at Towers ( Stain Grade Finish )

**2 EAST ELEVATION / DRIVE THRU**  
SCALE: 1/8" = 1'-0"



**1 NORTH ELEVATION / ENTRANCE**  
SCALE: 1/8" = 1'-0"



**TOBIN ARCHITECTS PA**  
OFFICE OF ARCHITECTURE  
PLANNING  
AND DESIGN

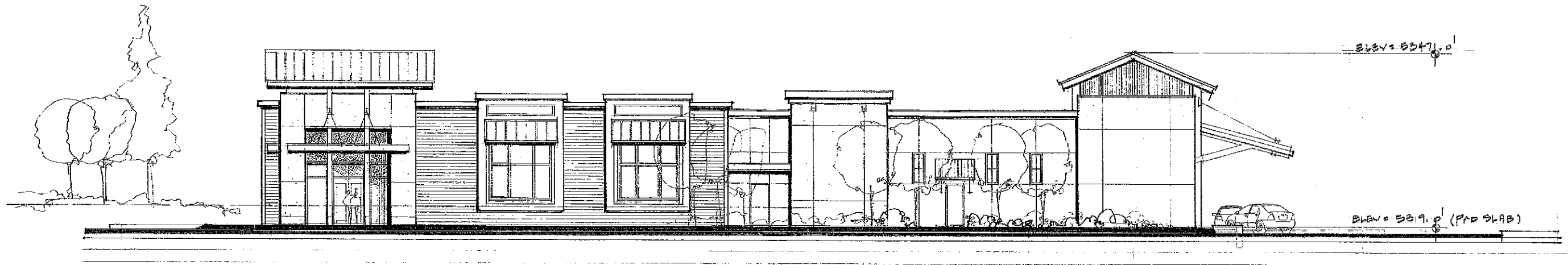
Principal:  
**TOBIN T DOUGHERTY**  
ARCHITECT AIA

SUN VALLEY, ID OFFICE  
371 WALNUT AVE NORTH SUITE A  
PO. BOX 14001-303  
KETCHUM, ID 83320  
PH. 208.726-8112  
FX. 208.726-9763

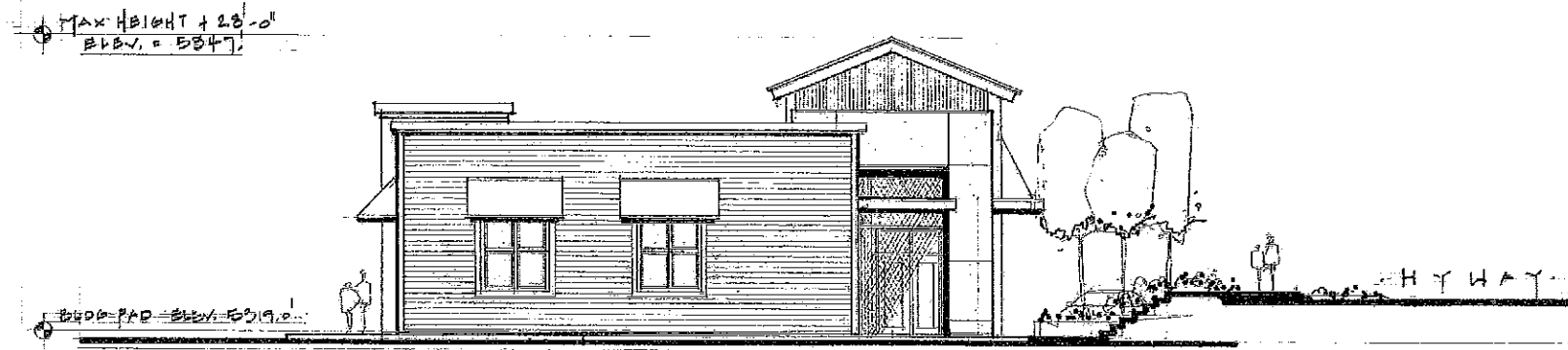
**P-A4**

Project Number:  
Sheet Date: April 24, 09

The Architect retains all copyright and other proprietary rights in these plans. Plans may not be reproduced, altered, or copied in any form or manner without the prior written consent of the Architect. In the event of any dispute over these plans, the Architect shall be held harmless. Tobin T. Dougherty Architect Copyright 2009



3 SOUTH ELEVATION / FROM HYW 75  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION / BUILDING ENTRY  
SCALE: 1/8" = 1'-0"

**EXTERIOR FINISH MATERIALS**

- Tower Gable Ends, Gable Roofing and Window Awnings
- Galvanized Steel Corrugated Panels ( Vertical )
- Cement Plaster finish Sand Trowel Finish
- 6" Horizontal Lap Siding ( Paint Grade Finish )
- Wood Timber Beams at Towers ( Stain Grade Finish )
- Wood Timber Beams at Towers ( Stain Grade Finish )



TOBIN  
ARCHITECTS PA  
OFFICE OF ARCHITECTURE  
PLANNING  
AND DESIGN

Principal:  
TOBIN T DOUGHERTY  
ARCHITECT AIA

SUN VALLEY, ID OFFICE  
571 WAINUT AVE NORTH SUITE A  
P.O. BOX 14001-3033  
KETCHUM, ID. 83340  
PH. 208.726-8112  
FX. 208.726-9763

**P-A5**

Project Number:  
Sheet Date: April 24, 09

The Architect expressly reserves its Common Law Copyright and all other Property Rights in these Plans. These Plans are NOT to be Reproduced, Altered, or Copied in any form or manner whatsoever, nor are they to be assigned to a third party without the checking and written permission of the Architect. In the event of execution of these plans by a third party, the Architect shall be held harmless. Tobin T. Dougherty Architects Copyright © 2009